



AGENDA
PLANNING AND ZONING COMMISSION MEETING
TUESDAY, JUNE 2, 2026 AT 6:00 PM
KAUFMAN CITY HALL COUNCIL CHAMBERS
209 SOUTH WASHINGTON STREET,
KAUFMAN, TEXAS 75142

PLEDGE OF ALLEGIANCE US FLAG

TEXAS FLAG "HONOR THE TEXAS FLAG. I PLEDGE ALLEGIANCE TO THEE, TEXAS ONE STATE UNDER GOD, ONE AND INDIVISIBLE".

INVOCATION

CALL MEETING TO ORDER Chairman calls the Meeting to order, states the date and time, states Commissioners present, and declares a quorum present.

CITIZENS COMMENTS / REQUEST TO SPEAK ON AGENDA ITEMS (5 MINUTES)

Comments about any of the agenda items may be taken into consideration at this time or during the agenda item. Comments are limited to five (5) minutes per individual unless additional time is otherwise required by law for translation. Speaking time is not transferable. Citizens may address the P&Z Commission on any subject but must first complete a Request to Speak Form so that the Chairman may call your name to speak at the appropriate time on the agenda. Comments must be directed to the P&Z Commission as a whole. When addressing the P&Z Commission, please step forward to the speaker's podium, state your name and address, and direct your comments to the Chairman and P&Z Commission.

CONSENT AGENDA All matters listed under the Consent Agenda, are considered to be routine by the Planning and Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately. For a citizen to request the removal of an item, a request must be submitted to the Planning and Zoning Commission Secretary.

1. Consider and take appropriate action on the minutes of May 5, 2026, Planning and Zoning Commission meeting.

END OF CONSENT AGENDA

DISCUSSION/ACTION ITEMS

2. Consider and make a recommendation to City Council on a **Site Plan** for **Harmony Bank**, Kings Fort Addition, Block F, Lot 3, consisting of 1.102 acres (Property ID 240766), located within the D. Falcon Survey, Abstract No. 151, in the City of Kaufman, Kaufman County, Texas, and generally located at 815 Kings Fort Parkway. (Case No. SP-01-26)

3. Consider and make a recommendation to City Council on a **Site Plan** for **Waffle House**, consisting of 1.3 acres (Property ID 5365), located within the D Falcon, Tract 590, in the City of Kaufman, Kaufman County, Texas, and generally located at 2210 Tabor Parkway. (Case No. SP-03-26)

ANNOUNCEMENTS AND REPORTS FROM SENIOR PLANNER

The City Council will meet on Monday, June 22, to discuss the Planning and Zoning cases.

BOARD INQUIRY

If a member of the board makes a spontaneous inquiry about a subject not on this agenda, then the board or an appropriate staff member may make a statement of factual information or policy in response to such an inquiry. However, in accordance with Open Meetings Act Section 551.042, the Planning and Zoning Commission cannot discuss issues raised or make any decisions on that subject at that time. Issues raised may be referred to Staff for research and possible future action.

ADJOURNMENT

I, JOY HENDERSON, DO HEREBY CERTIFY THAT THIS NOTICE OF MEETING WAS POSTED ON THE WINDOW AT KAUFMAN CITY HALL, 209 S. WASHINGTON, KAUFMAN, TEXAS, A PLACE CONVENIENT AND READILY ACCESSIBLE TO THE GENERAL PUBLIC AT ALL TIMES AND SAID NOTICE WAS POSTED AT THE KAUFMAN CITY HALL, 209 S. WASHINGTON, KAUFMAN, TEXAS AT 5:00 P.M. ON WEDNESDAY, MAY 27, 2026, AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST THREE (3) BUSINESS DAYS PRECEDING THE SCHEDULE TIME OF SAID MEETING.



JOY HENDERSON
PLANNER

THE BUILDING IN WHICH THE ABOVE MEETING WILL BE CONDUCTED IS WHEELCHAIR ACCESSIBLE AND PARKING SPACES FOR THE MOBILITY IMPAIRED ARE AVAILABLE. PERSONS WITH DISABILITIES WHO PLAN TO ATTEND THIS MEETING AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED, READERS, OR LARGE PRINT ARE REQUESTED TO CONTACT THE CITY SECRETARY'S OFFICE AT 972-932-2216 AT LEAST TWO (2) WORKING DAYS PRIOR TO THE TIME OF THE MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



MINUTES
PLANNING AND ZONING COMMISSION MEETING
TUESDAY, MAY 5, 2026 AT 6:00 PM
KAUFMAN CITY HALL COUNCIL CHAMBERS 209
SOUTH WASHINGTON STREET, KAUFMAN, TEXAS 75142

PLEDGE OF ALLEGIANCE US FLAG

TEXAS FLAG "HONOR THE TEXAS FLAG. I PLEDGE ALLEGIANCE TO THEE, TEXAS ONE STATE UNDER GOD, ONE AND INDIVISIBLE".

INVOCATION

CALL MEETING TO ORDER Chairman calls the Meeting to order, states the date and time, states Commissioners present, and declares a quorum present.

The meeting was called to order at 6:05 p.m. on Tuesday, May 5, 2026. Commissioners present were Chairman Richard Dunn, Vice-Chairman Porfirio Lopez, Commissioner Kathy Thorpe, and Commissioner Mike Slye. The City of Kaufman staff present included: Director of Development Services Johnny Bray, Senior Planner Martin Mares, and Planner Joy Henderson. Present in the audience was Tommy Henricks and Marty Sims.

CITIZENS COMMENTS/REQUEST TO SPEAK ON AGENDA ITEMS (5 MINUTES)

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CONSENT AGENDA All matters listed under the Consent Agenda, are considered to be routine by the Planning and Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items.

1. Consider and take appropriate action on the minutes of the April 7, 2026 Planning and Zoning Commission meeting.

END OF CONSENT AGENDA

Commissioner Slye made a motion to approve the consent agenda for item 1. The motion was seconded by Vice-Chairman Lopez, with the members voting 4-0. The motion passed.

PUBLIC HEARING

2. Conduct a public hearing and make a recommendation to City Council regarding a **Replat of Cottage Heights Addition**, generally located at 1801 Park Street. (Case No. RP-01-26)

The public hearing opened at 6:07 p.m.

Senior Planner Martin Mares presented the Commissioners with a report for a replat on property located at 1801 Park Street. (Case No. RP-01-26).

Tommy Henricks stated the division was to sell the 3 lots and not tear down the existing house.

The public hearing closed at 6:10 p.m.

Commissioner Slye made a motion to approve the **replat** with the condition that the Zoning Board of Adjustment approves the request. If the request is not approved, then the replat will have to meet the minimum standards. The motion was seconded by Commissioner Thorpe, with the members voting 4-0. The motion passed.

DISCUSSION/ACTION ITEMS

3. Consider and make a recommendation to City Council on the **Site Plan for Helen Edwards Elementary School**, located at 1605 Rand Road. (Case No: SP-02-26)

Senior Planner Martin Mares presented the Commissioners with a report for a Site Plan on property located at 1605 Rand Road (Case No. SP-02-26).

Marty Sims stated that it will connect the building in the back giving the play areas a safer area. There will also be a large storm shelter built to protect the students from bad weather.

Commissioner Thorpe made a motion to approve the **Site Plan**. The motion was seconded by Vice-Chairman Lopez, with the members voting 4-0. The motion passed.

ANNOUNCEMENTS AND REPORTS FROM SENIOR PLANNER

Senior Planner Martin Mares announced the City Council will meet on Monday, April 27, to discuss the Planning and Zoning cases. The Planning and Zoning Commission will meet on Tuesday, May 5. The Zoning Board of Adjustments will meet on Tuesday, May 12th.

BOARD INQUIRY

If a member of the Commission has an inquiry about a subject not on this agenda, I will hear it now.

ADJOURNMENT

Since there is no further business, we stand adjourned at 6:25 p.m.

APPROVED:

**RICHARD DUNN
CHAIRMAN**

ATTEST:

**JOY HENDERSON
PLANNER**



Planning and Zoning Commission Report

Meeting Date: June 2, 2026

SUBJECT: Consider and make a recommendation to City Council for a Site Plan for Harmony Bank, Kings Fort Addition, Block F, Lot 3, situated on 1.102 acres of land (Property ID 240766), out of the D. Falcon Survey, Abstract No. 151, in the City of Kaufman, Kaufman County, Texas, said property being generally located in the 815 Kings Fort Parkway. (Case No. SP-01-26)

SUMMARY:

The applicant is requesting approval of a **Site Plan (SP-01-26)** revision for the construction Harmony Bank. The subject property is zoned Planned Development-15 (PD-15) for Highway Commercial uses. Harmony Bank is considered a financial institution with drive-thru service which is permitted within this Planned Development (PD-15) district.

Development standards for the site are outlined in the Planned Development ordinance (PD-15). Any standards not specifically addressed in Planned Development default to the Highway Commercial regulations in the Kaufman Development Code.

The Site Plan was heard by Planning and Zoning Commission and then approved by City Council on April of 2026. The applicant in discussion with neighboring properties has decided to modify the approved site plan and the change in circulation prompts the review of a new site plan.

Updated Site Plan

The site plan approved by City Council in April included a cross-access and fire lane configuration that extended along the full perimeter of the property with two access points. The updated plan modifies this layout to include only one driveway access point along the frontage road on Meara Drive, rather than a second access point along Kings Fort Parkway. The applicant has indicated that when the neighboring property develops, it will provide its own separate access point. Additionally, the applicant is proposing a speed bump at the edge of the eastern property line within the fire lane.

Site Plan

The site plan includes one tract designated for the development of the Harmony Bank. The lot is 1.102 acres, and the building footprint is approximately 3,075.06 square feet. A total of 16 parking spaces are required, and 24 spaces are proposed.

On the eastern side of the property, the site will include a fire access and utility easement connection, which will provide future cross-access to an adjacent tract once it develops. The northern, western, and southern sides of the property will front a right-of-way.

The site plan is substantially in compliance with the requirements of the Zoning Ordinance and PD-15. Teller lanes are also proposed and provide adequate queuing and escape lanes, as required.

Building Elevations

Per the Planned Development, all buildings and walls are required to have at least eighty percent (80%) masonry exterior sheathing, excluding windows and doors. Glass block, stucco, split block, tilt-wall, and similar materials may be counted as masonry. Up to forty percent (40%) of the required masonry may be met with EIFS or Hardie Plank, provided it is installed at a height of eight feet (8') above the ground or higher.

The Harmony Bank building incorporates brick and cast stone for the majority of the structure, as shown on the façade plans. The building meets the minimum eighty percent (80%) masonry requirement, with each elevation exceeding ninety percent (90%) masonry.

Landscaping

The proposed development exceeds the minimum landscape requirements for nonresidential parcels, which require at least fifteen percent (15%) of the street yard to be devoted to living landscaped area. The total street yard area is 39,857 square feet, requiring a minimum of 5,979 square feet (15%) of landscaping. The proposal provides 16,874 square feet (42%), significantly exceeding the minimum requirement.

A minimum ten-foot (10') landscape buffer yard is provided along all adjacent rights-of-way, in compliance with the Zoning Ordinance. Along King Fork Parkway (86 linear feet), the site provides the required buffer, three (3) large trees, and fifty-two (52) shrubs, exceeding the required eighteen (18) shrubs. Along Meara Drive (303 linear feet), the proposal includes the required buffer, eight (8) large trees, and seventy-nine (79) shrubs, exceeding the required sixty-one (61) shrubs. Along U.S. Highway 175 (250 linear feet), the required buffer is provided with seven (7) small trees in lieu of large trees due to overhead utility lines, along with 147 shrubs, exceeding the required fifty (50) shrubs.

Parking lot landscaping meets ordinance requirements. A total of nine (9) trees are required; however, only six (6) trees are located at the terminus of parking rows. The remaining three (3) required trees have been redistributed to other areas of the site in accordance with PD-15.

PD-15 allows the City-required landscaping within the interior of the parking lot to be relocated to the perimeter of the parking lot. This may include, but is not limited to, landscaping at the terminus of parking rows and within street yard areas. A reduction in the required landscape area or the number of trees below what is required by the Kaufman Zoning Ordinance is not permitted; however, the required landscape area and trees may be placed along the perimeter of the lot rather than within the interior parking field.

The landscaping, quantity, and spacing are in adherence with the Zoning Ordinance requirements and PD-15 requirements.

SURROUNDING ZONING AND EXISTING LAND USES:

| | Zoning | Existing Land Use |
|---------------|----------------------------|--|
| North: | Planned Development | Kaufman Business Park (across SH 175) |
| East: | Planned Development | Vacant land/ Brakes Plus |
| South: | Planned Development | Vacant land |
| West: | Planned Development | Lone Star Credit Union |



COMPREHENSIVE PLAN:

Land Use Plan:

The 2014 Future Land Use Plan designates the future land use of the subject property as Future Commercial uses. The property is zoned “PD-15 Highway Commercial”, which allows for commercial uses listed in the Kaufman Zoning Ordinance. The proposed use is in conformance with the 2014 Future Land Use Plan and the Commercial zoning regulations.

THOROUGHFARE PLAN:

The Thoroughfare Plan designates SH 34 as a major regional arterial (Type AA; 6 lanes), with a right-of-way width of 120 feet. Kings Fort Parkway is designated as a major collector (Type C; 4 lanes), with a right-of-way width of 80 feet. Meara Drive is designated with a 60-foot right-of-way. The necessary right-of-way for the thoroughfares already exists at this location.

RECOMMENDATION:

Staff recommend approval of the Site Plan for Harmony Bank.

ATTACHMENTS:

- Exhibit A – Location Map
- Exhibit B – Site Plan
- Exhibit C – Elevations/Facade Plan
- Exhibit D – Landscape Plan

Martin Mares
 Senior Planner
 972-932-2216 ext. 141
mmares@kaufmantx.org

Location Map

EXHIBIT A

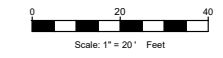


FLOOD PLAIN NOTE

THIS PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN) ACCORDING TO THE FLOOD INSURANCE COMMUNITY-PANEL NUMBER 48257C0310D, EFFECTIVE DATE JULY 3, 2012. FLOOD ZONE IS DETERMINED BY GRAPHIC SCALING ONLY.

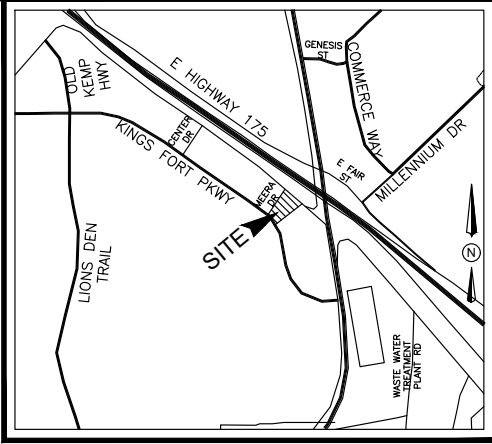
SITE NOTES

- NO DUMPSTERS WILL BE LOCATED ON SITE.
- ALL SIGNS LOCATED ON SITE ARE CONCEPTUAL AND WILL REQUIRE SEPARATE APPROVAL THROUGH A SIGN PERMIT.



EASEMENT/SETBACK LEGEND

| | |
|--|------------|
| BUILDING SET BACK | B.S. |
| LANDSCAPE SETBACK | L.S. |
| FIRE LANE, ACCESS & UTILITY EASEMENT | F.A.U.E. |
| FIRE LANE, ACCESS & DRAINAGE EASEMENT | F.A.D.E. |
| FIRE LANE, ACCESS, UTILITY & DRAINAGE EASEMENT | F.A.U.D.E. |
| SANITARY SEWER EASEMENT | S.S.E. |
| WATER EASEMENT | W.E. |
| ELECTRICAL EASEMENT | E.E. |
| UTILITY EASEMENT | U.E. |
| DRAINAGE EASEMENT | D.E. |



VICINITY MAP

N.T.S.

SITE DATA SUMMARY TABLE

| LOT | 1 |
|---|-----------------------|
| EXISTING ZONING | HC PD-15 |
| PROPOSED USE | FINANCIAL INSTITUTION |
| GROSS LOT AREA (S.F.) | 47,998 |
| GROSS LOT AREA (ACRES) | 1.102 |
| ROW DEDICATION AREA (S.F.) | |
| NET LOT AREA (S.F.) | 47,998 |
| NET LOT AREA (ACRES) | 1.102 |
| TOTAL FINANCIAL INSTITUTION (BANK) AREA (S.F.) | 3,075 |
| TOTAL BUILDING FLOOR AREA (S.F.) | 3,075 |
| LOT COVERAGE | 6.41% |
| FLOOR AREA RATIO (F.A.R.) | 0.064 |
| PROPOSED STREET YARD AREA | 40,005 |
| REQUIRED LANDSCAPE AREA | 15% |
| | S.F. 6,001 |
| PROPOSED STREET YARD LANDSCAPE AREA (S.F.) | 21,272 |
| PROPOSED INTERIOR LANDSCAPE AREA (S.F.) | 1,002 |
| PROPOSED TOTAL LANDSCAPE AREA (S.F.) | 22,273 |
| PROPOSED USABLE LANDSCAPE AREA (%) | 46.40% |
| OVERALL LOT IMPERVIOUS AREA | 25,725 |
| PARKING REQUIREMENTS: | |
| PARKING REQUIREMENTS FOR FINANCIAL INSTITUTION | 1 PER 200 SF GFA |
| REQUIRED PARKING TOTAL | 16 |
| REQUIRED TOTAL HANDICAP SPACES (1 PER 25 SPACES) | 1 |
| PROVIDED PARKING - REGULAR | 22 |
| PROVIDED PARKING - HANDICAP | 2 |
| TOTAL PARKING SPACES PROVIDED | 24 |
| NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS. | |

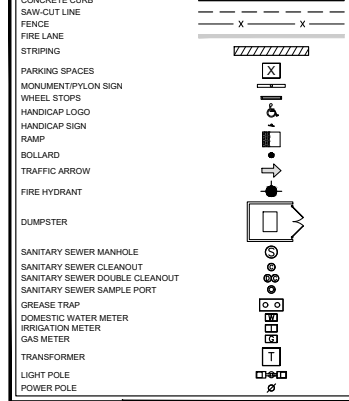
BUILDING DATA SUMMARY TABLE

| LOTS | BUILDING NAME | STORY | HEIGHT | USE | BLDG AREA (SF) | TOTAL (SF) |
|------|-----------------------|-------|---------|------|----------------|------------|
| 1 | Financial Institution | 1 | 30'-00" | Bank | 3,075 | 3,075 |

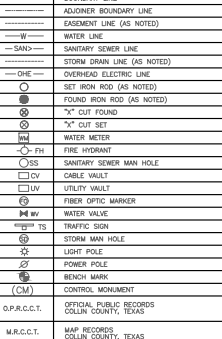
PARKING DATA SUMMARY TABLE BY USE

| LOTS | USE | TOTAL FLOOR AREA (SF) | PARKING REQUIREMENTS | PARKING REQUIRED | PARKING PROVIDED | | | PARKING RATIO PROVIDED |
|------|-----------------------|-----------------------|----------------------|------------------|------------------|-----------------|-------|------------------------|
| | | | | | REGULAR | HANDICAP SPACES | TOTAL | |
| 1 | Financial Institution | 3,075 | 1 PER 200 SF | 16 | 22 | 2 | 24 | 1.50 |

SITE LEGEND



EXISTING LEGEND



SITE GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERE TO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

BENCHMARK

THE BENCHMARKS AND ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BY USING GPS OBSERVATIONS IN CONJUNCTION WITH ALL TERRA RTK NETWORK.

OTHER BENCHMARKS:
 BENCHMARK NO. 1
 FROM THE MOST WESTERLY CORNER NORTH 28.37 FEET
 THENCE WEST 56.81 FEET TO A SQUARE CUT "X" IN
 CONCRETE. ELEVATION = 414.54'

BENCHMARK NO. 2
 FROM THE MOST SOUTHERLY CORNER SOUTH 190.38 FEET
 THENCE EAST 14.46 FEET TO A SQUARE CUT "X" IN
 CONCRETE. ELEVATION = 414.59'

SITE PLAN

HARMONY BANK
CONSTRUCTION PLANS
 815 KINGS FORT PARKWAY, CITY OF KAUFMAN
 KAUFMAN COUNTY, TX 75142
 KINGS FORT ADDITION, BLOCK F, LOT 3

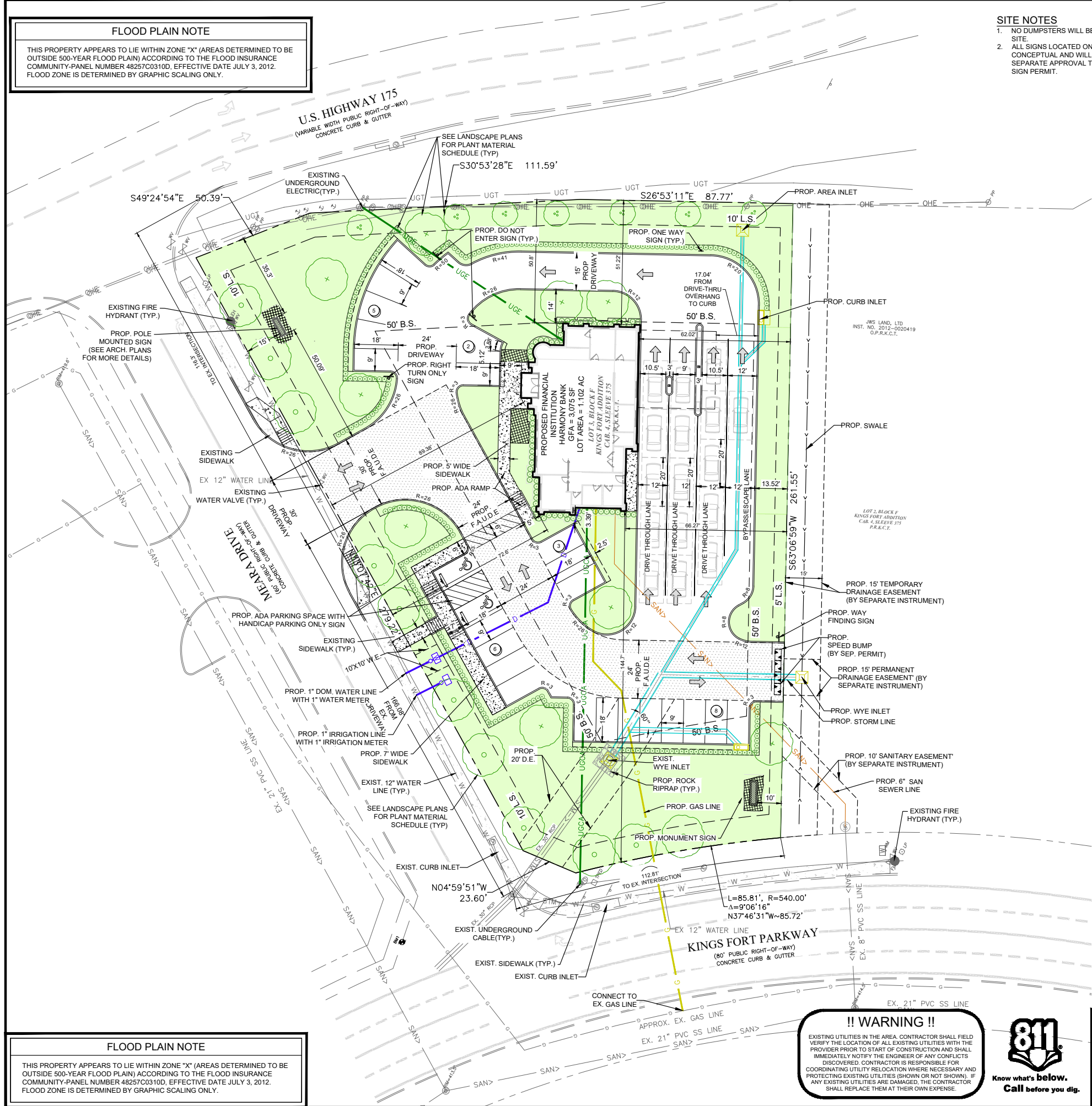
| NO. | DATE | DESCRIPTION | BY |
|-----|----------|---------------------------------|----|
| 1 | 03/06/26 | 1ST CITY SUBMITTAL | KP |
| 2 | 03/25/26 | 2ND CITY SUBMITTAL | KP |
| 3 | 03/31/26 | 3RD CITY SUBMITTAL | KP |
| 4 | 04/21/26 | 4TH CITY SUBMITTAL | KP |
| 5 | 05/26/26 | 5TH CITY SUBMITTAL (REVISED SP) | KP |
| . | . | . | . |
| . | . | . | . |



!! WARNING !!
 EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE PROVIDER PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

FLOOD PLAIN NOTE

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entos design

5400 LBJ Freeway, Suite 125, Dallas, Texas 75240
T 972 770 2222 | www.entosdesign.com

ISSUED FOR PRELIMINARY
PURPOSES ONLY.

THESE DOCUMENTS MAY NOT BE USED
FOR REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

These drawings are assumed to be complete and final. It shall be the tenant/client's responsibility to review and bring in writing any design discrepancies to the designer's attention. Any design changes will be at additional expense. The designer shall not be held responsible for city, state and federal code/regulation authority's interpretations.

Approved: _____ Date: _____



NOTE: ALL FINAL FINISHES ARE BASED ON CONCEPTUAL DESIGN. FINAL SPECIFICATIONS MAY VARY.

| No. | Revision | Date |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |

ISSUE STATUS: DESIGN DEVELOPMENT

ISSUE DATE: 2026-03-03

HARMONY BANK

815 KINGS FORT PARKWAY
KAUFMAN, TEXAS

PROJECT #: 25-1148-L003

SHEET TITLE
**ARCHITECTURAL SITE
- RENDERING**

SHEET NUMBER © 2025

A0.30



entos
design

5400 LBJ Freeway, Suite 125, Dallas, Texas 75240
T 972 770 2222 | www.entosdesign.com

ISSUED FOR PRELIMINARY PURPOSES ONLY.

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Approved: _____ Date: _____

| Harmony Bank – Elevation Facade Area Takeoff | | | | | | | | |
|--|-----------------|--------------|------------|------------|--------------|-------------|-------------|---------------------------|
| Elevation | Total Facade SF | Masonry SF | Glazing SF | Canopy SF | Masonry % | Glazing % | Canopy % | Masonry % (w/out glazing) |
| North | 1,136 | 1,015 | 65 | 56 | 89.3% | 5.7% | 4.9% | 94.8% |
| West | 1,421 | 1,074 | 242 | 105 | 75.6% | 17.0% | 7.4% | 91.1% |
| South | 1,162 | 1,028 | 66 | 68 | 88.5% | 5.7% | 5.9% | 93.8% |
| East | 1,400 | 1,280 | 74 | 45 | 91.4% | 5.3% | 3.2% | 96.5% |
| Building Total | 5,119 | 4,397 | 447 | 274 | 85.9% | 8.7% | 5.4% | 94.1% |



BERMUDA BLUE - GLEN GERY



AZUL - GLEN GERY



RAVENSWOOD - ENDICOTT



MANAGANESE IRONSPOT - ENDICOTT



WHITE LIMESTONED - DALLAS CAST STONE



DUNSMUIR - MCNEAR



OLD BRICK AUSTIN - NOVACERAMIC



LEATHER HONEY - LA COVADONGA

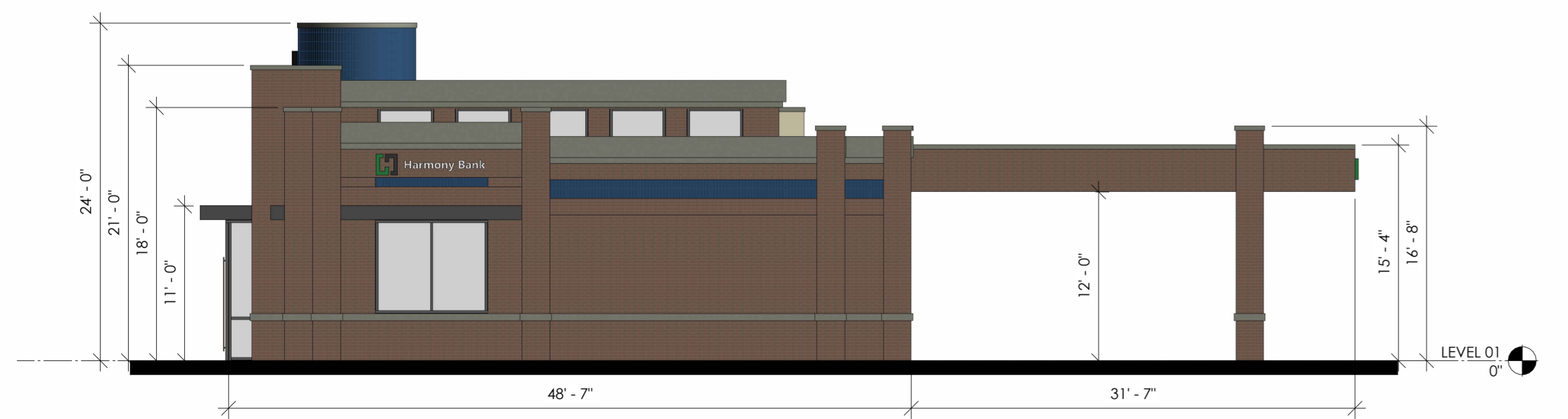
- PROPOSED FACADE MATERIALS:
- BRICK AND CAST STONE
 - 100% MASONRY EXCEPT FOR GLASS AND DOORS



04 EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

| No. | Revision | Date |
|-----|----------|------|
| | | |
| | | |
| | | |

ISSUE STATUS: PRELIM SITE PLAN
ISSUE DATE: 2026-03-03

HARMONY BANK

815 KINGS FORT PARKWAY
KAUFMAN, TEXAS

PROJECT #: 25-1148-L003
PM: NICK LEWIS

SHEET TITLE
ARCHITECTURAL SITE-ELEVATIONS

SHEET NUMBER © 2025

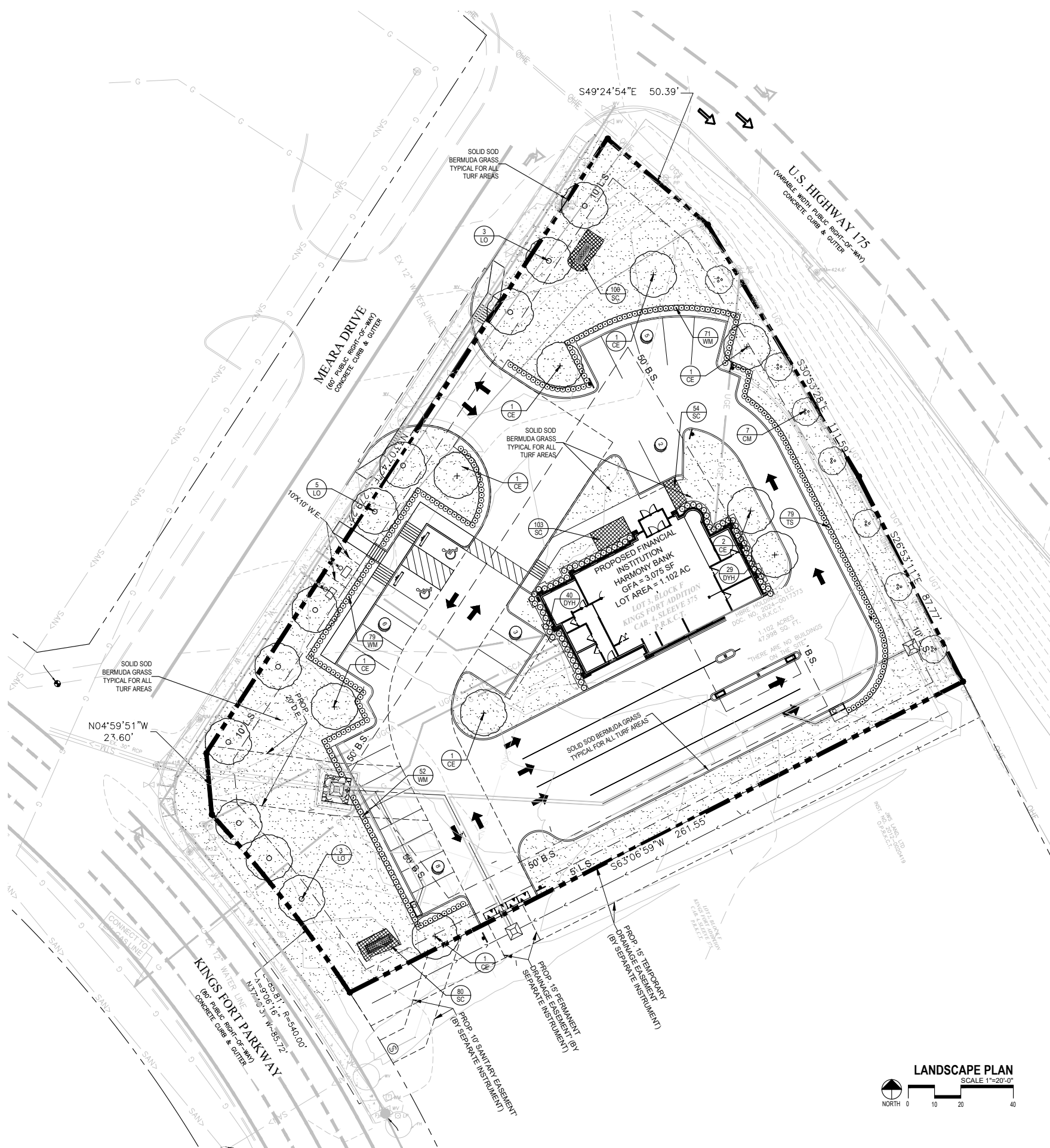
A0.31



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



HARMONY BANK
 815 KINGS FORT PARKWAY
 CITY OF KAUFMAN, KAUFMAN COUNTY, TEXAS



- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

LANDSCAPE TABULATIONS

LANDSCAPE AREA PERCENTAGE:
REQUIREMENTS: FOR ALL NONRESIDENTIAL PARCELS AT LEAST FIFTEEN PERCENT (15%) OF THE STREET YARD SHALL BE DEVOTED TO LIVING LANDSCAPED AREA.

STREET YARD AREA = 39,857 S.F.
REQUIRED: LANDSCAPE AREA: 5,979 S.F. (15%) PROVIDED: LANDSCAPE AREA: 16,874 S.F. (42%)

LANDSCAPE BUFFER YARD:
REQUIREMENTS: A MINIMUM TEN (10) FOOT LANDSCAPE BUFFER YARD IS REQUIRED ALONG ADJACENT RIGHT-OF-WAY. A MINIMUM (1) ONE LARGE TREE PER FORTY (40) LINEAR FEET OF STREET FRONTAGE. A MINIMUM TEN (10) SHRUBS PER FORTY (50) LINEAR FEET OF STREET FRONTAGE.

KING FORT PARKWAY = 86 L.F.
REQUIRED: 10' LANDSCAPE BUFFER (3) LARGE TREES (18) SHRUBS PROVIDED: 10' LANDSCAPE BUFFER (3) LARGE TREES (52) SHRUBS

MEARA DRIVE = 303 L.F.
REQUIRED: 10' LANDSCAPE BUFFER (8) LARGE TREES (61) SHRUBS PROVIDED: 10' LANDSCAPE BUFFER (7) LARGE TREES (79) SHRUBS

U.S. HWY 175 = 250 L.F.
REQUIRED: 10' LANDSCAPE BUFFER (7) LARGE TREES (50) SHRUBS PROVIDED: 10' LANDSCAPE BUFFER (7) SMALL TREES (OVERHEAD POWER LINES) (147) SHRUBS

PARKING LOT LANDSCAPE:
REQUIREMENTS: ONE TREE TO BE LOCATED AT THE END OF EACH ROW OF PARKING.
REQUIRED: (9) LARGE TREES PROVIDED: (6) LARGE TREES

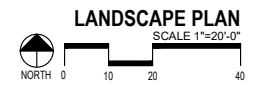
INTERNAL LANDSCAPE REQUIREMENT: NONE
REQUIRED: (0) LARGE TREES PROVIDED: (3) LARGE TREES

PLANT MATERIAL SCHEDULE

| TREES | | | | |
|--------------|-----|-----------------------------------|--------------------------------|--|
| TYPE | QTY | COMMON NAME | BOTANICAL NAME | REMARKS |
| CE | 9 | Cedar Elm | <i>Ulmus crassifolia</i> | 2" cal. container, 12' ht., 6' spread, 5' clear straight trunk |
| CM | 7 | Crape Myrtle | <i>Lagerstroemia indica</i> | 2" cal. container, 8' ht., 4' spread, 3 or 5 caines |
| LO | 11 | Live Oak | <i>Quercus virginiana</i> | 2" cal. container, 12' ht., 6' spread, 5' clear straight trunk |
| SHRUBS | | | | |
| TYPE | QTY | COMMON NAME | BOTANICAL NAME | REMARKS |
| DYH | 65 | Dwarf Yaupon Holly | <i>Ilex vomitoria</i> | 5 gal. container, 24" ht., 20" spread |
| TS | 79 | Texas Sage | <i>Leucophyllum frutescens</i> | 5 gal. container, 24" ht., 20" spread |
| WM | 205 | Wax Myrtle | <i>Myrica celtica</i> | 5 gal. container, 24" ht., 20" spread |
| GROUNDCOVERS | | | | |
| TYPE | QTY | COMMON NAME | BOTANICAL NAME | REMARKS |
| SC | 275 | Seasonal Color '419' Bermudagrass | <i>Cynodon dactylon</i> '419' | 4" pots solid sod full container, well rooted refer to solid sod notes |

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (dbh). Trees to have straight trunks and be matching within varieties.

* PER THE CITY OF KAUFMAN PROPOSED TREES ARE TO BE MEASURED 12 INCHED FROM THE TOP OF THE BOOT BALL



ISSUE:
FOR APPROVAL 02.27.2026
CITY COMMENTS 03.23.2026
CITY COMMENTS 03.31.2026
CITY COMMENTS 04.02.2026
CITY COMMENTS 04.17.2026
SITE PLAN UPDATED 05.26.2026

DATE:
05.26.2026

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.1



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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ALLEN, TEXAS 75013
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05.26.2026

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS
 - Refer to bidding requirements, special provisions, and schedules for additional requirements.

- 1.2 DESCRIPTION OF WORK
 - Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - Planting (trees, shrubs, and grass)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and Maintenance until final acceptance
 - Guarantee

- 1.3 REFERENCE STANDARDS
 - A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1960, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
 - B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
 - C. Texas Association of Nurserymen, Grades and Standards.
 - D. Hortis Third, 1976 - Cornell University

- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
 - A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
 - B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
 - C. Product Data: Submit complete product data and specifications on all other specified materials.
 - D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
 - E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
 - F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

- 1.5 MAINTENANCE AND GUARANTEE
 - A. Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
 - B. Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead material as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 1.6 QUALITY ASSURANCE
 - A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
 - B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
 - C. Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

- 1.7 PRODUCT DELIVERY, STORAGE AND HANDLING
 - A. Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- 1.8 SOIL PREPARATION MATERIALS
 - A. Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutsgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
 - B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
 - C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or approved equal.
 - D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
 - E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
 - F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
 - G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
 - H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

- 1.9 MISCELLANEOUS MATERIALS
 - A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
 - B. Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armooc with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
 - C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
 - D. Filter Fabric: Mrafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

- 1.10 EXECUTION
 - 3.1 BED PREPARATION & FERTILIZATION
 - A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
 - B. All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
 - C. Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.
 - 3.2 INSTALLATION
 - A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
 - B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
 - C. Position the trees and shrubs in their intended location as per plan.
 - D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
 - E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- 3.3 CLEANUP AND ACCEPTANCE
 - A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

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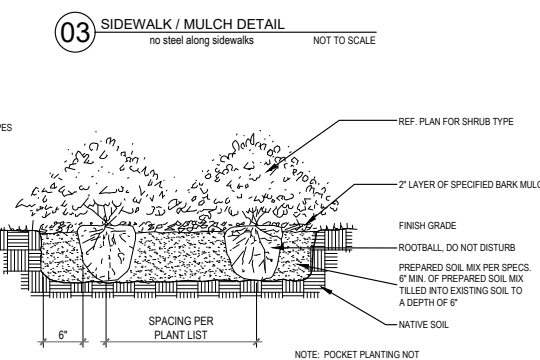
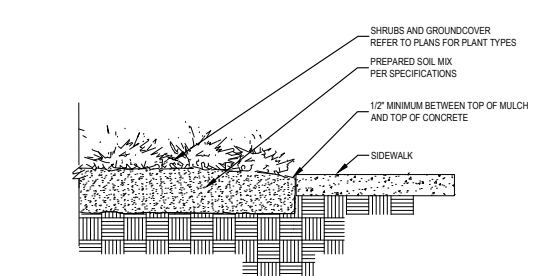
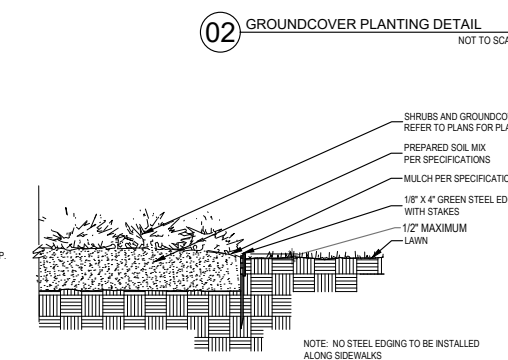
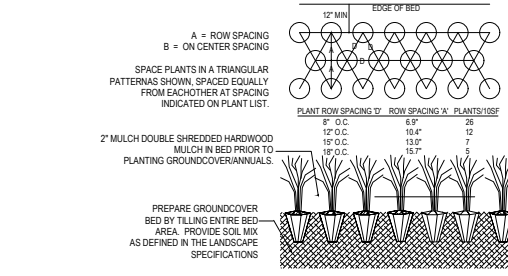
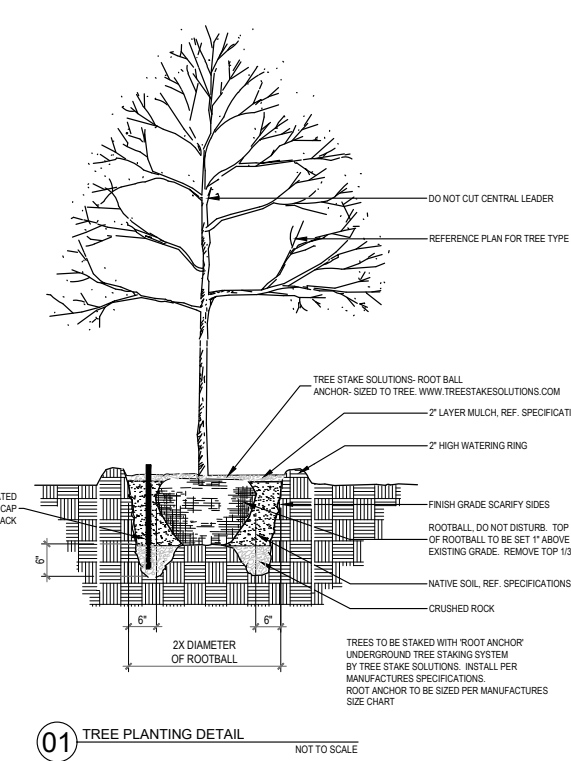
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 - C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
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CITY OF KAUFMAN, KAUFMAN COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.27.2026
CITY COMMENTS 03.31.2026

DATE:
05.26.2026
SHEET NAME:
LANDSCAPE SPECIFICATIONS
SHEET NUMBER:



Planning and Zoning Commission Report

Meeting Date: June 2, 2026

SUBJECT: Consider and make a recommendation to City Council on a Site Plan for **Waffle House**, consisting of 1.26 acres (Property ID 5365), located within the D Falcon, Tract 590, in the City of Kaufman, Kaufman County, Texas, and generally located at 2210 Tabor Parkway. (Case No. SP-03-26)

SUMMARY

The applicant is requesting approval of a Site Plan (SP-03-26) for the development of a **Waffle House** restaurant. The subject property is zoned Commercial District (C), and the development is proposed on a vacant, unimproved tract. The proposed use is considered a restaurant without drive-through services, which is allowed by right in the Commercial District.

Site Plan

The site plan includes one tract designated for the development of Waffle House. The tract is approximately 1.26 acres, and the proposed building footprint is approximately 1,913 square feet. The development includes a 10-foot landscape strip along the front street frontage and complies with the required setbacks, including a 25-foot front yard setback, 15-foot side yard setbacks adjacent to the street, and a 20-foot rear yard setback.

Parking requirements for restaurants are based on the greater of the following calculations: one parking space per 100 square feet of seating/waiting area or one parking space per three seats under maximum occupancy. Based on these standards, a minimum of 20 parking spaces is required by code, and the applicant is proposing a total of 30 parking spaces, which exceeds the minimum parking requirement.

A 5-foot sidewalk is proposed along the street frontage. Elevations provided in Exhibit C show the proposed building will feature a brick facade.

Landscaping

The proposed development complies with the landscaping requirements for both the north and south street frontages, including street yard landscaping and terminal landscape areas.

For the north street frontage, the site includes approximately 130 linear feet of frontage. A minimum of 15% landscaping (168.9 square feet) is required, while approximately 473 square feet (42%) is provided. A total of 3.25 trees are required at a ratio of one tree per 40 linear feet of frontage, and four (4) trees are proposed. Additionally, 26 shrubs are required, and 30 shrubs are provided.

For the south street frontage, the site includes approximately 172 linear feet of frontage. A minimum of 15% landscaping (176.25 square feet) is required, while approximately 475 square feet (40%) is provided. A total of 4.3 trees are required, and five (5) trees are proposed. A total

of 35 shrubs are required, and 31 Dwarf Burford Holly shrubs are provided, with four (4) shrubs transferred to the northern frontage to meet required planting counts.

The Development Code also requires terminal landscape islands at the ends of parking rows. Along the street frontage on Old Kemp Highway, these terminal islands are located beneath existing overhead utility lines. In accordance with the Kaufman Zoning Code, “Only shrubs and groundcovers (i.e., no trees) shall be used under existing or proposed overhead utility lines or over buried utilities.” Therefore, trees are not provided within these terminal landscape areas.

Overall, the landscaping provided exceeds the minimum required landscape area and satisfies the required tree, shrub, and terminal landscape requirements for the development.

SURROUNDING ZONING AND EXISTING LAND USES:

| | Zoning | Existing Land Use |
|---------------|-------------------------------|--|
| North: | Commercial | TxDOT Vacant Land |
| East: | Commercial & PD-14 | Dentist Office Dialysis Clinic Nail Salon |
| South: | Commercial | Office Building Storage Buildings |
| West: | Commercial | McDonald’s Parker-Ashworth Funeral Home |



COMPREHENSIVE PLAN:

Land Use Plan:

The 2014 Future Land Use Plan designates the future land use of the subject property as Future Commercial uses. The property is zoned “Commercial”, which allows for commercial uses listed in the Kaufman Zoning Ordinance. The proposed use is in conformance with the 2014 Future Land Use Plan and the Commercial zoning regulations.

THOROUGHFARE PLAN:

The Thoroughfare Plan designates Tabor Parkway as a minor arterial (Type B; 4–6 lanes). The necessary right-of-way for the thoroughfare already exists at this location.

RECOMMENDATION:

Staff recommends approval of the Site Plan for Waffle House.

ATTACHMENTS:

- Exhibit A – Location Map
- Exhibit B – Site Plan
- Exhibit C – Elevations/Facade Plan
- Exhibit D – Landscape Plan
- Exhibit E – Photometric Plan

Martin Mares
Senior Planner
972-932-2216 ext. 117
mmares@kaufmantx.org

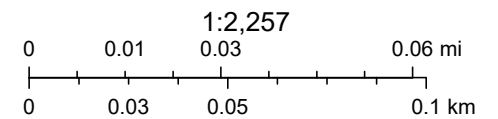
Waffle House Location

EXHIBIT A



5/15/2026, 9:14:18 AM

 Parcels



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Kaufman County Appraisal District, BIS Consulting - www.bisconsulting.com

Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 700
 DECATUR, GA 30030
 770.335.9403
 www.icg.engineer



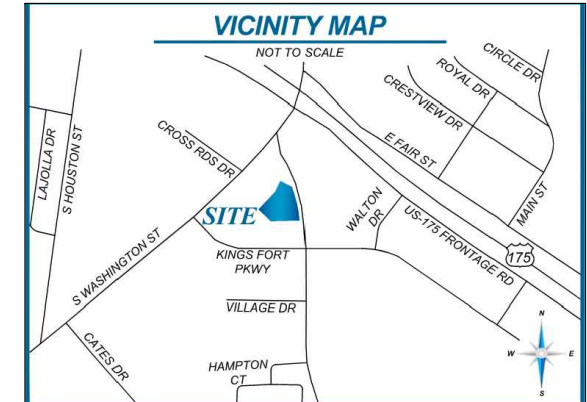
Waffle House
 "A UNIQUE AMERICAN PHENOMENON"
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

WAFFLE HOUSE
 KAUFMAN, TEXAS
 ISSUED FOR: CONSTRUCTION
 JURISDICTION: CITY OF KAUFMAN
 LOCATION: 2210 OLD KEMP HIGHWAY
 KAUFMAN, TX 75142

| # | DATE | REVISIONS |
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| DRAWN: SM | CHECK: KH |
| JOB NO: 26-128 | DATE: 04/24/26 |

SITE PLAN
 SHEET C02



SITE SUMMARY

| | |
|---------------------------------|--------------------------|
| ZONING DISTRICT | COMMERCIAL |
| JURISDICTION | CITY OF KAUFMAN |
| PARCEL NUMBER | 5365 |
| EXISTING ZONING | C |
| PROPOSED SITE AREA | ±1.26 AC (± 55,017 SF) |
| PROPOSED USE | RESTAURANT |
| PROPOSED BUILDING AREA | ± 1,913 SF |
| TOTAL LOT COVERAGE | 27% |
| MAX. SIGN SIZE | 100-SF, 35' TALL |
| PROPOSED SIGN SIZE | TBD |
| FRONT YARD SETBACK | 25' |
| SIDE YARD SETBACK | 25' (ADJACENT TO STREET) |
| REAR YARD SETBACK | 20' |
| LANDSCAPE STRIP / BUFFERS | 10' (FRONT) |
| DRIVE AISLE WIDTH | 24' |
| PARKING STALL DIMENSIONS | 9' X18' |
| MINIMUM PARKING SPACES REQUIRED | 20 |
| PROPOSED PARKING SPACES | 30 |

PARKING REQUIREMENTS:
 1 SPACE PER 100 SF OF SEATING/WAITING AREA
 1,913 SF / 100 SF = 19.13 = 20 SPACES MINIMUM
 OR
 1 SPACE FOR EVERY THREE SEATS UNDER MAXIMUM SEATING ARRANGEMENT
 34 SEATS/3 SEATS = 11 SPACES MINIMUM

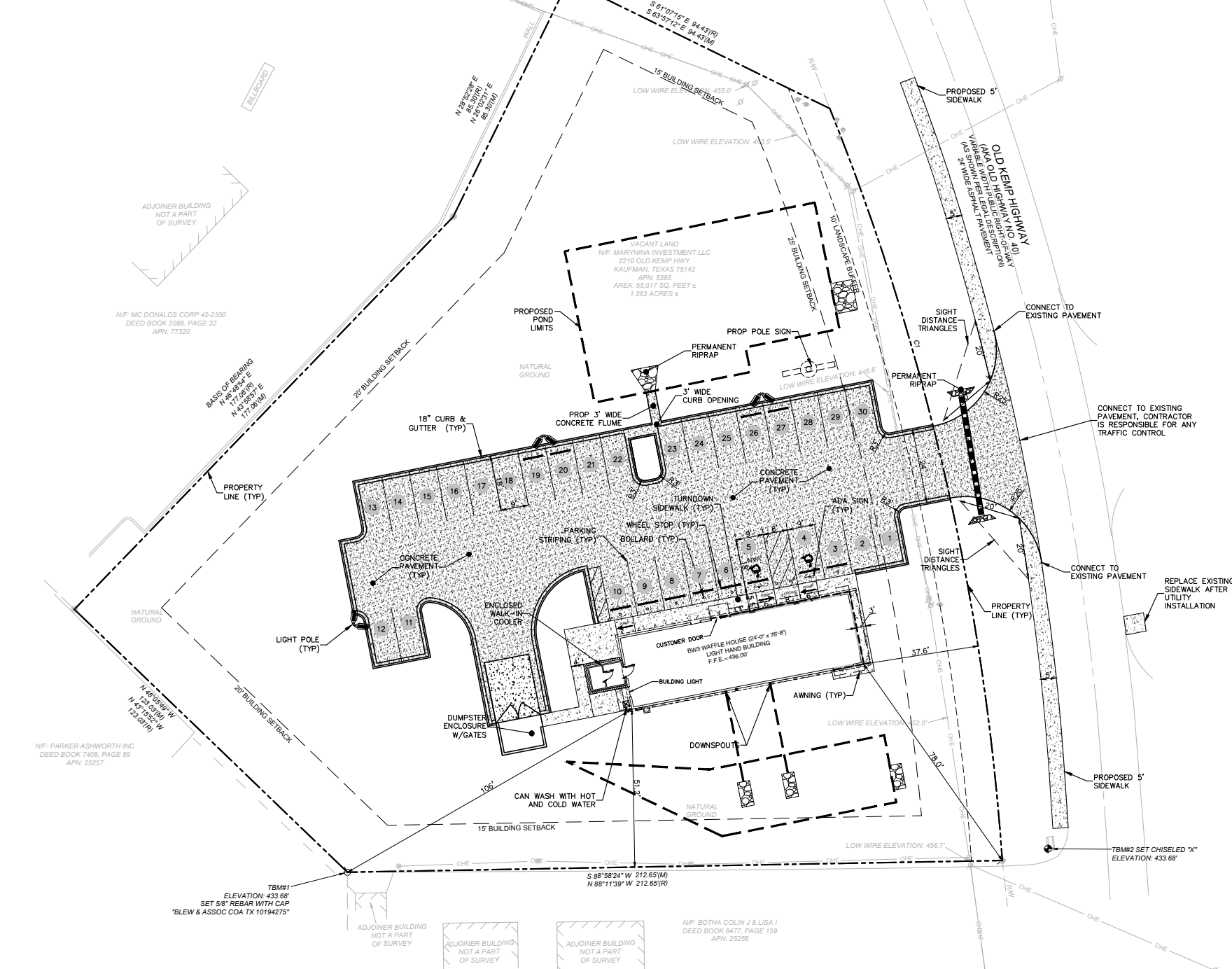
- SITE NOTES:**
- COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE UNACCEPTABLE.
 - PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL CODES.
 - PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC CONTROL MANUAL (MUTCD), ASHTO, AS WELL AS STATE AND LOCAL REGULATIONS.
 - ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE BUT NOT LIMITED, TO STEPS, STOOPS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
 - THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 5' WHERE NO DIMENSION IS GIVEN.
 - CURB AND GUTTER SHALL BE 18" IN SIZE UNLESS SPECIFIED OTHERWISE.
 - EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS-BUILTS AND OTHER CERTIFICATIONS IN ORDER TO CAUSE THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
 - CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
 - THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
 - THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.
 - ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

WAFFLE HOUSE – SITE PLAN SP-03-26
 2210 OLD KEMP HIGHWAY, KAUFMAN, TEXAS 75142
 REVISION DATE: 5/27/26

| | | | |
|--|--|---|--|
| DEVELOPER NAME: WAFFLE HOUSE ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071 PHONE: 770-729-5822 CONTACT: TYLER SCHUSTER EMAIL: TYLERSCHUSTER@WAFFLEHOUSE.COM | ENGINEER NAME: CONTINIO GROUP, LLC ADDRESS: 755 COMMERCE DRIVE, SUITE 700, DECATUR, GA 30030 RON T. CRUMP, P.E. EMAIL: RONC@THECONTINIOGROUP.COM KEN HAERTEL, PM PHONE: 678-481-1498 EMAIL: KENH@THECONTINIOGROUP.COM | SURVEYOR NAME: BLEW SURVEYING, LLC ROBERT J. WINICKI PHONE: 479-443-4506 EMAIL: SURVEY@BLEWINC.COM | PROPERTY OWNER COMPANY NAME: MARYNINA INVESTMENT LLC ADDRESS: 5109 BERKLEY DRIVE, MCKINNEY, TX 75070 PHONE: 214-502-5700 EMAIL: SCOTT@HARDESTYREALTY.COM |
|--|--|---|--|

LEGEND

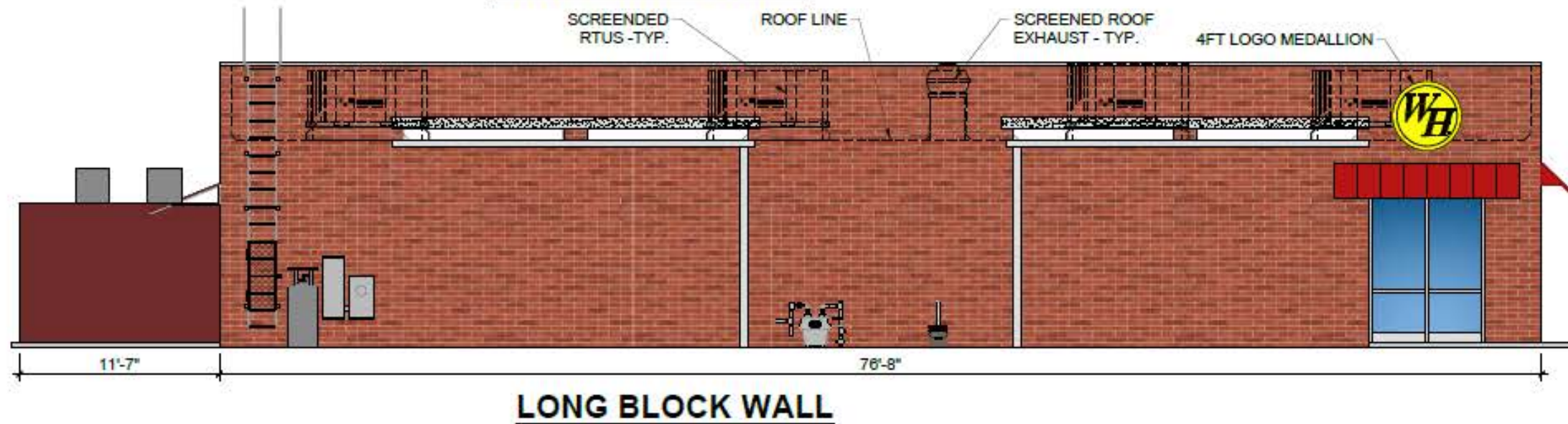
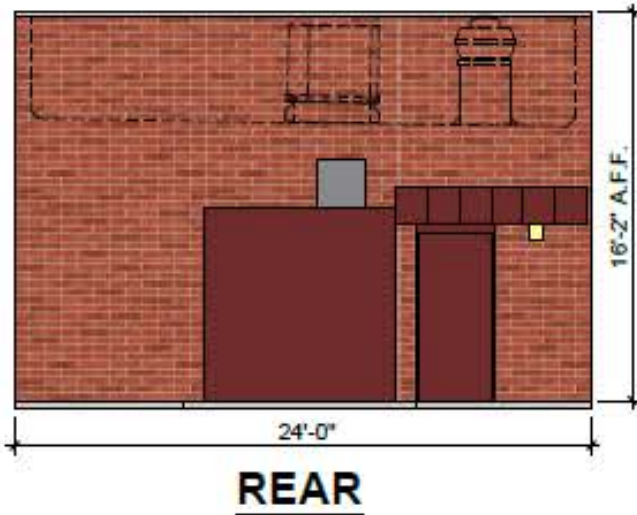
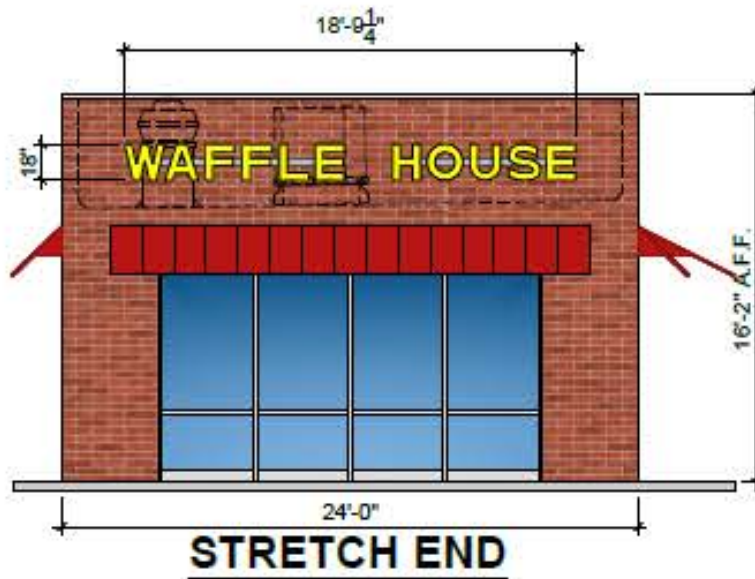
| | |
|--|---|
| | PROPERTY LINE |
| | BUFFER LINE |
| | SETBACK LINE |
| | 6" HEADER CURB |
| | EXISTING CONCRETE |
| | PROPOSED 4000 PSI CONCRETE FOR SIDEWALKS |
| | PROPOSED 4000 PSI CONCRETE FOR PARKING AREAS |
| | FIRE LANE, ACCESS, UTILITY, AND DRAINAGE EASEMENT |
| | ADA DESIGNATED STALL |
| | PARKING SPACE COUNT |



CURVE TABLE

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1(M) | 803.79' | 251.45' | 250.43' | S12°55'27"E |
| C1(R) | 803.79' | 251.45' | 250.43' | S10°05'29"E |

C:\USERS\CONTINIO\CONTINIO-MASTER\DRP\BLOB\BRYAN\BLS\SELL\CONTINIO-MASTER\PROJECTS\2026\128 - WH - KAUFMAN, TX - CIVL
 DESIGNING AND DESIGN FILES\2026\CONSTRUCTION DRAWINGS



SCALE: 1/8"=1'-0"

BUILDING DESCRIPTION:
 LEFT HAND, MEDIUM PARAPET, BW3 BUILDING
 QUIK-BRIK "RICHFIELD FLASHED"
 RED STANDING-SEAM METAL AWNING

NOTE:
 UTILITY LOCATIONS SHOWN ARE TYPICAL BUT,
 MAY VARY DEPENDING ON SITE CONDITIONS



EXHIBIT D



REVISIONS

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|--------------------|
| REVISED 05-27-2026 |
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05/27/2026 SEAL

LANDSCAPE PLAN

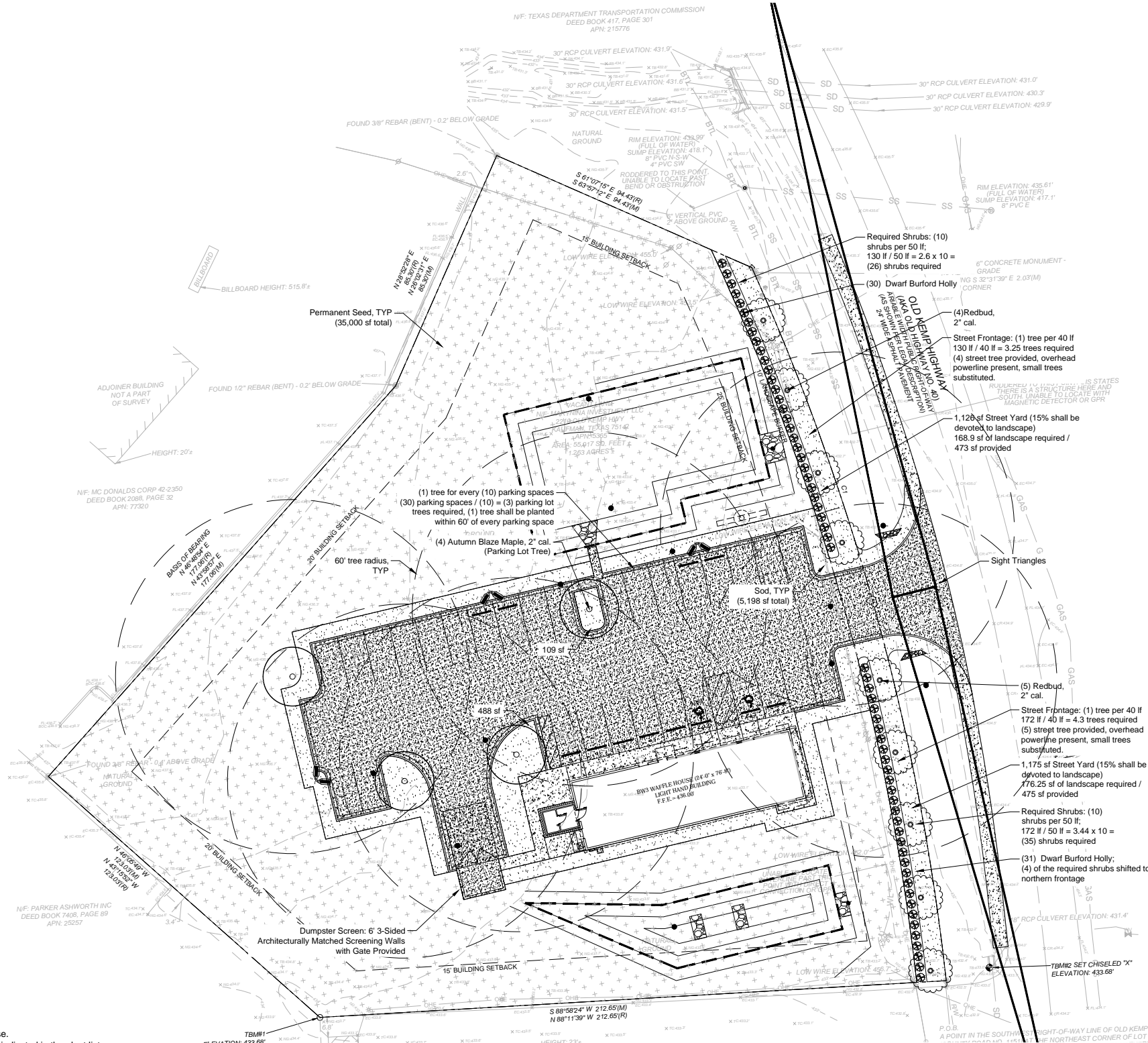
WAFFLE HOUSE KAUFMAN, TEXAS

| | |
|---|------------|
| DATE | 04-24-2026 |
| JOB NO. | 2012011 |
| SCALE | |
| DRAWN BY | RM |
| CHKD BY | RM |
| DISCLAIMER THIS DRAWING IS THE PROPERTY OF RAA DESIGN, LLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. | |
| RAA DESIGN | |
| SHEET | |
| LS-1 | |
| 1 OF 1 | |

FRONTAGE LANDSCAPE REQUIREMENTS:

| Location | Distance | Total Street Yard |
|--|----------|---|
| North Street Frontage | 130 lf | 1,126 sf |
| Required | | Provided |
| Landscape Required: (15%, 168.9 sf) | | Landscape Provided: (42%, 473 sf) |
| Trees Required: (1 per 40 lf, 3.25 Trees) | | Trees Provided: (4) Redbud; Overhead powerline present) |
| Shrubs Required: (10 per 50 lf, 26 Shrubs) | | Shrubs Provided: (30) Dwarf Burford Holly (4) Required shrubs from southern frontage added |

| Location | Distance | Total Street Yard |
|--|----------|---|
| South Street Frontage | 172 lf | 1,175 sf |
| Required | | Provided |
| Landscape Required: (15%, 176.25 sf) | | Landscape Provided: (40%, 475 sf) |
| Trees Required: (1 per 40 lf, 4.3 Trees) | | Trees Provided: (5) Redbud; Overhead powerline present) |
| Shrubs Required: (10 per 50 lf, 35 Shrubs) | | Shrubs Provided: (31) Dwarf Burford Holly (4) Required shrubs added to northern frontage |



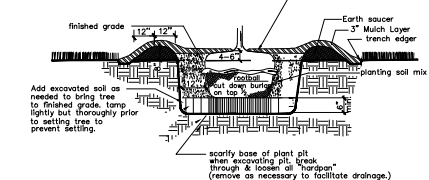
Planting Sizes and Dimensions

| Qty. | Sym. | Botanical Name | Common Name | Size | Hgt. | Width | Container | Spacing | Notes |
|------|----------|-------------------|--------------------|--------|------|-------|--------------|----------|---|
| 4 | (Symbol) | Acer x freemanii | Autumn Blaze Maple | 2" cal | 7-8' | 6' | 15 gal. min. | as shown | Parking Lot Tree |
| 9 | (Symbol) | Cercis canadensis | Eastern Redbud | 2" cal | 7-8' | 6' | 15 gal. min. | as shown | Street Yard (Overhead Powerlines present) |

| Qty. | Sym. | Botanical Name | Common Name | Size | Hgt. | Width | Spacing | Notes |
|------|----------|--------------------------|---------------------|--------|------|-------|----------|-------|
| 61 | (Symbol) | Ilex cornuta 'Burfordii' | Dwarf Burford Holly | 3 gal. | 24" | 18" | as shown | |

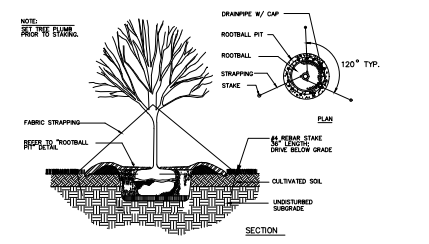
Permanent Seeding: 35,000 sf
Sod: 5,198 sf

GENERAL NOTES:

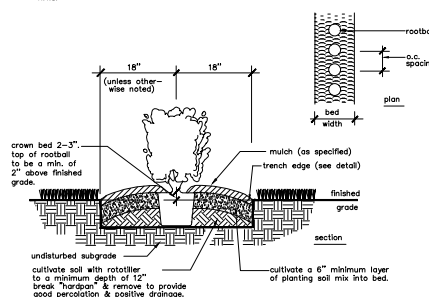


- PLANTING PROCEDURE:**
- excavate rootball pit.
 - add excavated soil & tamp.
 - add tree such that top of rootball is 2-3" higher than finished grade.
 - backfill w/ soil mix & "water in".
 - stake & guy securely.
 - complete burlapting, construct trench edge & add specified mulch.

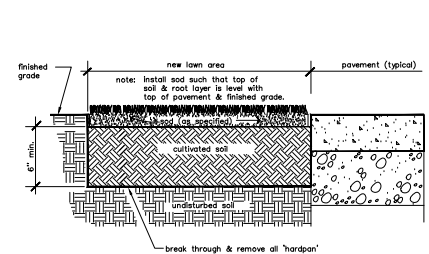
TYP. TREE ROOTBALL PIT
N.T.S.



TREE STAKING & GUYING
N.T.S.



HEDGE PLANTING (SINGLE ROW)
N.T.S.



- SODDING PROCEDURE:**
- the general contractor will provide grades to (+/- .20) of a foot of proposed grades.
 - cutside entire area to a minimum 6" depth, handrake smooth.
 - add additives (as per soil test analysis) & rototill.
 - water area to be sodded prior to laying sod.
 - lay & roll sod, water thoroughly.

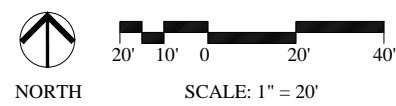
SOD INSTALLATION
N.T.S.

GENERAL PLANTING NOTES

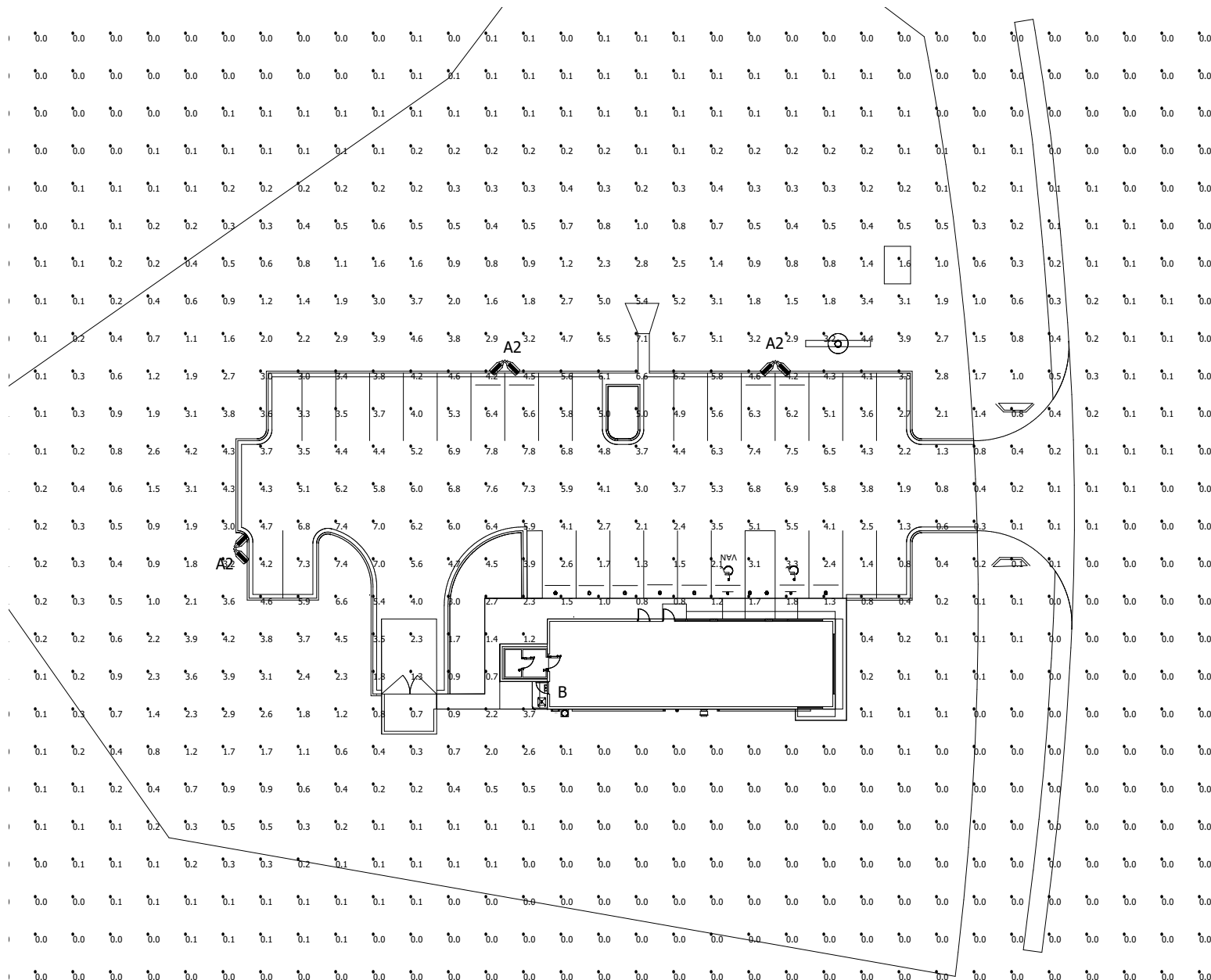
- All plants must be healthy, vigorous material, free of pests and disease.
- All plants must be container-grown or balled and burlapped (B&B) as indicated in the plant list.
- All trees must be straight trunked, full headed and meet all requirements as specified.
- All plants are subject to the approval of the Landscape Architect and the Owner before, during, and after installation.
- All trees must be guyed or staked as shown in the details.
- All plants and planting areas must be completely mulched as specified.
- Prior to construction, the Landscape Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of work. The Landscape Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The Landscape Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- The Landscape Contractor is responsible for fully maintaining all planting (including, but not limited to: watering, spraying, mulching, fertilizing, etc.) of planting areas and lawns until the work is accepted in total by the Landscape Architect and the Owner.
- The Landscape Contractor shall completely guarantee all plant material for a period of one (1) year beginning at the date of final acceptance. The Landscape Contractor shall promptly make all replacements before or at the end of the guarantee period (as per direction of the Owner).
- The Owner agrees to perform all landscape maintenance (including watering) throughout the one year guarantee period unless otherwise determined.
- The Landscape Architect will approve the staked location of all plant material prior to installation.
- After being dug at the nursery source, all trees in leaf shall be acclimate for two (2) weeks under a mist system prior to installation.
- Any plant material which dies, turns brown, or defoliates (prior to total acceptance of work) shall be promptly removed from the site and replaced with material of the same species, quantity, size and meeting all plant list specifications.
- Standards set forth in 'American Standards for Nursery Stock' represent guideline specifications only, and constitute a minimum quality requirements for plant material.

ADDITIONAL LANDSCAPE NOTES:

All required landscaped open areas shall be completely covered with living plant material.
Landscaping materials such as wood chips and gravel may be used under trees, shrubs and other plants, but shall not comprise a significant portion of the total landscaped area.
Any additional landscaped (i.e., pervious) areas that are in excess of the required landscaped area shall also be covered with living plant material, such as turf grass or other ground cover (i.e., shall be "greenscaped" rather than being covered with gravel or other unattractive surfacing).



Date: May 27, 2026, 9:48am, User: ID: RAA DESIGN, File: C:\Users\RAA\DESIGN\Dropbox\RAA Design\2025\2012011 - Waffle House On Demand\WH Kaufman TX\Wg\WH Kaufman TX_current.dwg



| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-----------------|-------|-------------|------------|------------------------|
| Symbol | Qty | Label | Mounting Height | LLF | Lum. Lumens | Lum. Watts | Description |
| ⚡ | 3 | A2 | 23 | 0.900 | 17653 | 135 | ASL1-160L-135-5K7-4W-U |
| H | 1 | B | 10 | 0.900 | 3112 | 25 | LNC2-48L-25-5K7-4W |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Overall Area | Illuminance | Fc | 0.96 | 7.8 | 0.0 | N.A. | N.A. |
| Paved Area | Illuminance | Fc | 4.43 | 7.7 | 0.5 | 8.86 | 15.40 |

Notes:

- 1: Luminaire data is tested to industry standards under laboratory conditions. Operating voltage and normal manufacturing tolerances of LED and drivers may effect field results.
- 2: Conformance to facility code and other local requirements is the responsibility of the owner and/or the owner's representative.
- 3: This design may not meet Title 24 or local energy code requirements. If this design needs to be altered to meet compliance, please contact the design team with specific requirements.



Note: For national account pricing please contact Spencer Wood at Bell & McCoy Lighting. 770-545-8961 swood@bellandmccoy.com

| # | Date | Comments |
|-----------|------|----------|
| Revisions | | |

| | | | |
|---------------|-------------|-----------------|-----------------|
| Drawn By: DHK | Checked By: | Date: 5/27/2026 | Scale: 1" = 20' |
|---------------|-------------|-----------------|-----------------|

WAFFLE HOUSE
SITE PHOTOMETRIC PLAN
OLD KEMP HIGHWAY
KAUFMAN, TX